

PROPOSAL



RENAISSANCE

HISTORIC EXTERIORS

November 9, 2024

Effingham County Board Office - Attn: Angie Thompson
Museum Roof
101 North Fourth Street, Suite 301
Effingham, Illinois 62401

Re: Effingham RFP for Replace/Repair Courthouse Museum (Old Courthouse) Roof

INTRODUCTION: Please refer to Exhibit A. (Company Introduction)

CONTACT: Tony Raleigh

CONTACT EMAIL: TRaleigh@HistoricExteriors.com

PHONE: 314-502-7326

FAX: 815-547-1425

MEANS & METHODS:

Mansard Roof and Low-Slope Roofing Work

A) Ensure a safe working environment by utilizing appropriate safety equipment, scaffolding, and staging as necessary. Protect the building and grounds from any damage during the process.

Note: All lower entryway metal roofing will remain in place and is not included in this proposal.

B) Remove and dispose of the existing cedar shingles and associated underlayment systems.

C) Remove and dispose of existing metal flashings related to the cedar roofing and cedar wall cladding.

D) Remove and dispose of the existing EPDM dormer coverings and associated drip edges.

BELVIDERE/CHICAGO OFFICE
2231 HAWKEY DRIVE
BELVIDERE, IL 61008

ST LOUIS OFFICE
2070 N LARK DRIVE
FENTON, MO 63026

800.699.5695
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- E) Remove and dispose of the existing guttering systems from the Museum.
- F) Remove the existing EPDM low-slope roofing from the upper mansard roof, including the ledge EPDM covering the obsolete built-in guttering system.
- G) Remove and dispose of any existing roof-mounted vents from the EPDM roofing system.
- H) Remove and dispose of the existing curb-mounted skylight.
- I) Refer to the "Unforeseen Conditions" section of this proposal for details regarding roof structure, decking, and other carpentry items.
- J) After addressing any unforeseen carpentry issues, Renaissance will install new Ice & Water Shield in valleys, around roof penetrations, along eaves, at wall-to-roof transitions, and other areas prone to ice damming, as per industry standards.
- K) Install new 43 lb. roofing underlayment over the remaining exposed roof surfaces.
- L) Install new 30 lb. roofing underlayment over the sidewalls of the dormers.

Note: The existing condition of the dormer rooftops is unknown at the time of writing.

- M) Install new cedar breather over the underlayment to promote drying behind the cedar shingles.
- N) Install new pre-finished steel drip edge materials matching the existing shape, size, and configuration.
- O) Install new Fancy Cut Round Butt cedar shingles per the Cedar Shake & Shingle Bureau standards, using stainless steel (316) nails to fasten each shingle.
- P) Install new 16-ounce copper step valley tins at each course of closed cedar valleys.
- Q) Install new 16-ounce copper step tins under each course of cedar hip and ridge.
- R) Install new Polyisocyanurate insulation over the low-slope roof in preparation for the new low-slope roofing. (Refer to the Unforeseen Conditions section.)
- S) Install new 60 mil EPDM FR membrane, in accordance with industry standards.
- T) Install new low-slope roof vents and plumbing vents at the existing locations. Furnish and install new Velux skylight in accordance with Manufacturers specs. Note: Additional ventilation may be required.
- U) Install new 6" K-style guttering along the eaves where guttering was removed, including new 3x4" rectangular downspouts at all existing locations.
- V) Install new copper roof coverings over the segmented/round top dormers.
- W) Clean up and remove all debris generated by our work.

Tower Roof and Wall Cladding Restoration

- A) Ensure a safe working environment by utilizing safety equipment and manlifts as required. Protect the building and grounds from any damage.



- B) Detach the existing Lightning Protection (LP) system and retain all intact components for reinstallation. Note: The existing LP system may require additional funds to bring it up to UL compliance.
- C) Remove and dispose of the existing cedar roofing and wall cladding on all four sides of the tower.
- D) Remove and dispose of the existing underlayment from the roof and walls.
- E) Remove corner boards as necessary to access flashing and cedar roofing. Save all intact wooden components for reinstallation.
- F) Remove and dispose of the existing base flashings and counter flashings.
- G) Install new Ice & Water Shield over the tower roof as per industry standards.
- H) Install new 30 lb. roofing felt on the vertical walls and at each course of interlayment.
- I) Install new 24-gauge prefinished steel flashings along the base of the tower, matching the existing layout and configuration. (Color to closely match existing metal.)
- J) Install new 24-gauge prefinished steel flashings at the existing ledges where prefinished steel is currently installed.
- K) Install new Fancy Cut Radius Butt red cedar shingles to match the existing layout and exposure. Use 316 stainless steel (SS) nails for all cedar shingle fastenings.
- L) Install new 16-ounce copper flashings under each course of cedar shingle hip cap.

Note: The area where a finial or spire would be located is currently covered with an EPDM rubber membrane. If the Museum desires a new spire or finial, Renaissance will provide options upon request.

M) Reinstall the existing lightning protection system using non-corrosive fasteners.

Note: The LP system may require additional funds to bring it up to UL compliance.

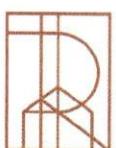
N) Clean up and remove all debris generated by our work.

PRICING: Main Cedar Mansard, Low Sloped Roofing, Tower Roofing and Vertical Cedar Wall Cladding

Main Mansard Roof and Low Sloped Roofing Membrane \$1,085,900.00

Tower Roof and Vertical Wall Cladding \$264,000.00

Total for all Roofing Work **\$1,349,900.00**



Details on pricing: Including labor, materials, inspection fees and all cost items.

MAIN ROOF

Materials	208,000.00
Labor	796,900.00
Equipment	81,000.00
Total	<u>1,085,900.00</u>

TOWER

Materials	58,800.00
Labor	162,700.00
Equipment	42,500.00
Total	<u>264,000.00</u>

GRAND

Grand Materials	266,800.00
Grand Labor	959,600.00
Grand Equipment	123,500.00
GRAND TOTAL	<u>1,349,900.00</u>

MATERIAL SPECIFICATIONS:

- #1 Western Red Cedar Shingles 7" exposure (Fancy Cut Round Butt/Beaver Tail), 18" x 5" Class B FT.
- Prevailing Wage Pay Scale
- 16-ounce copper – hip flashings, valleys, dormer tops step flashings at Cedar.
- 60 mil fire retardant EPDM
- Polyisocyanurate.
- 24-gauge prefinished steel- Lower ledge flashings, upper ledge flashings, perimeters.
- Stainless steel nails, copper nails, galvanized (carpentry) nails.
- Scaffolding/staging systems
- Layfast TU 43 Underlayment
- Grip-Rite 30lb underlayment (dormer walls, Interlay, vertical walls)
- Grace Ice & Water Sheild
- Benjamin Obdyke Cedar Breather



RENDERING: Please Refer to Exhibit B – Roof Diagram/Scope Areas

REFERENCES:

Project	Contact	Completion Date
St. Anthony of Padua Effingham, IL Slate Roof	Bob Dust Facilities Manager 217-663-4623	2013
Green County Courthouse Monroe, WI Natural Slate and Copper, Masonry	Dick Marti Project Manager for County 608-558-8919	2023
Martin County Courthouse Fairmont, MN Copper Dome, Copper Standing Seam Roof, Structural Repairs	Bob Mickelson ISG (Architect) 507-327-4581	2023
Saline County Courthouse Marshall, MO Slate Roof, Soft Metals	Becky Plattner Saline County 660-229-1400	2024
Hillsdale County Courthouse Hillsdale, MI Clay Tile Roof Replacement, Masonry	Randy Finley Hillsdale County 517-437-9786	In Process

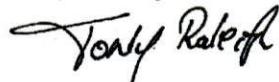
*Acceptance Total Investment **\$1,349,900.00**

(Owner Signature Required)

(Credit Cards (VISA/MC/AmEx) are accepted. A 4% convenience fee may apply.)

Date: _____

Respectfully submitted,



Tony Raleigh
Historic Building Specialist
Renaissance Historic Exteriors



Unforeseen Conditions

The following conditions are likely present on all structures and these conditions will require repairs and modification that will result in changes to the price and schedule. Once these conditions are known and solutions are identified, an estimate will be provided for approval. Our standard rate is \$125/hour plus meals, travel, lodging, and material expenses as required.

Low Sloped Roofing Systems

When our proposal includes the removal of an existing low sloped roofing layer, any hidden layers of roofing beneath the visible layer will result in additional charges for removal of these layers. Any roof deck repairs and structural modification (increase in pitch) to provide positive drainage for the low sloped system and any temporary waterproofing will also result in additional charges to provide the necessary conditions for the roofing system being installed.

Roof Structure, Roof Decking, and other carpentry items

The type and condition of all decking and underlying rafter and framing components cannot always be determined during our original inspection. Upon tear-off of the roofing material, deficiencies with the decking, rafter and framing components may be found and will result in additional charges.

Hazardous Material

Unless specifically stated herein, this proposal does not include costs associated with the disturbance, removal, or disposal of any hazardous material found during the course of our work. If hazardous materials are found, Company will obtain and supply pricing for these additional services.

Built-In Gutter Framing

The type and condition of all built-in gutter components (gutter, framing, soffit, rafters, sill plate, pitch, shims, slope) cannot always be determined from our original inspection. Upon removal of the gutter system additional damage may be found resulting in additional removal/repair/replacement and will result in additional charges.

Hidden Masonry Conditions

Masonry at the chimneys, the walls, below the soffit/gutter/sill plate & rafters could be damaged due to the same water-infiltration that caused the wood decking, and framing damages. Most of the time the masonry work is completely hidden by the roofing, flashing, sheet metal, or wood trim components and only after these components are removed is the underlying masonry structure damage identified. These masonry damages can span from simple tuck-pointing behind masonry chimney flashings, to more extensive re-building of the masonry chimney areas and in some cases tear down and rebuild of wall, chimney, and structural masonry components. Additional masonry work identified will result in additional charges.

*Acknowledgement/Acceptance of Unforeseen Conditions _____
(Owner Representative Signature **Required**)

Owner Representative Name **(Printed)**

Date: _____



General Terms and Conditions

By accepting this proposal, Owner agrees to accept financial responsibility for all necessary permits and fees, directly associated with the proposed work, as required by the local municipalities. Permit fees are not included in the above proposal and will be included in the final invoice. All proposed adjustments or additional work that was not included in the original proposal will be completed pursuant to a written change order form indicating additional cost, labor, and materials, signed by both parties. Any and all salvaged materials will become property of Company.

NOTICE: Moisture that has entered the building prior to our installation or repair of the roofing system may result in mold growth. Company disclaims any and all responsibility for damage to person or property arising from or relating to the presence of mold in the building. By executing the contract, Owner 1) releases Company from any and all claims Owner and Owner's (a) family members, (b) employees, (c) tenants or (d) any other building occupants may have as a result of such mold growth and 2) agrees to defend, indemnify, and hold Company harmless from any and all penalties, actions, liabilities, costs, expenses, and damages arising from or relating to the presence of mold in Owner's building.

If Company is not paid according to the terms of this proposal, Owner agrees that interest shall accrue on any unpaid balance at the rate of 1.5% per every 28 days past due, including the costs of collection and handling late payments, shall be due on the 30th day, and each 30th day thereafter, from the time payment is due. If Company brings action to collect any amounts owed by Owner, Company shall be entitled to recover reasonable attorneys' fees, court costs and other collection costs from Owner, IN ADDITION to any other relief to which Company shall be entitled. Company and Owner agree that any action brought to enforce the terms of this agreement shall be brought in the Circuit Courts of Boone County, Illinois. In the event any provision of this agreement shall be declared invalid or unenforceable, the remaining terms shall remain in full force and effect.

To Owner-Occupied Single-Family Residences: THE LAW REQUIRES THAT THE CONTRACTOR SHALL SUBMIT A SWORN STATEMENT OF PERSONS FURNISHING LABOR, SERVICES, MATERIAL, FIXTURES, APPARATUS OR MACHINERY, FORMS OR FORM WORK BEFORE ANY PAYMENTS ARE REQUIRED TO BE MADE TO THE CONTRACTOR.

Owner hereby grants permission to Company to use photographs in Company publications such as brochures, newsletters, magazines, and to use photographs in electronic forms or media. Owner waives any right to inspect or approve the finished photographs or printed or electronic matter that may be used in conjunction with them now or in the future, whether that use is known or unknown to Owner, and Owner waives the right to royalties or other compensation arising from or related to the use of any photographs or other images.

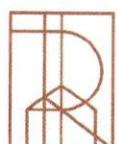
If Owner, after acceptance of this proposal, elects not to proceed with the work, Owner shall reimburse Company irrespective of whether any work is ever commenced, for all of Company's costs, fees, and expenses incurred in connection with the bidding, documentation, material purchase, labor and/or preparation for the commencement of the work, including, but not limited to Company's fees, travel expenses and reasonable overhead expenses.

It is Company practice to have extra roofing supplies on hand during all work in the event additional material is needed. These extra supplies are the property of Company and should be removed from the site at the completion of the project.

*Acknowledgement/Acceptance of General Terms and Conditions _____
(Owner Representative Signature **Required**)

Owner Representative Name (**Printed**) _____

Date: _____





RENAISSANCE

HISTORIC EXTERIORS

COMPANY INTRODUCTION

A nationally recognized leader in the field of historical building restoration since 1992, we construct custom restoration solutions for historical homes, churches, universities, courthouses, and state capitol buildings, including many on the National Register of Historic Places.

Our full range of services include historical tile and slate roofing, historical masonry restoration and reproduction, architectural sheet metal reproduction and fabrication, historical carpentry, gutters & downspouts, plus, access to the largest inventory of historical roofing materials in the United States...everything needed to restore your historical building, under one roof.

The company was built on the belief that a contracting company should provide the highest level of quality and customer satisfaction while solving even the most complex building problems. From the beginning, the team invested countless hours in order to meet and exceed the requirements to become a full-service exterior restoration company.

Thanks to the team-wide dedication to their individual crafts, Renaissance has grown to be a nationally recognized leader in the field of historical building restoration. Based in Belvidere, Illinois, the company has grown to include a second location in Fenton, Missouri.

Renaissance has a team of over 60 in-house employees that are experts in historical building restoration. With these life-time experts in their respective fields, a world-class architectural sheet metal shop and an extensive inventory of historic roofing products we offer our clients a complete solution to their restoration needs.

We're known as a historic building restoration contractor with experience in traveling to distant locations and performing the most extensive and demanding restoration projects. Most of the restoration projects require extensive architectural sheet metal utilizing copper. Our world class architectural sheet metal shop is responsible for re-producing all the historically accurate assemblies found on our projects. We design and fabricate all of these products which provides us with improved control and scheduling capabilities.

BELVIDERE/CHICAGO OFFICE
2231 HAWKEY DRIVE
BELVIDERE, IL 61008

ST LOUIS OFFICE
2070 N LARK DRIVE
FENTON, MO 63026

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Renaissance is a member of the following organizations and has received recognition for its work by being nominated for and winning many industry awards.

Memberships

- National Roofing Contractors Association
- National Slate Association
- Tile Roofing Institute
- Slate Roofing Contractors Association of North America
- Chicago Roofing Contractors Association
- Cedar Shake & Shingle Bureau
- The Association for Preservation Technology International

Awards

- 2024 NRCA Roofing Alliance Gold Circle Award Nominee
- 2024 Ludowici Project of the Year Award Winner
- 2024 North American Copper in Architecture Award Winner
- 2023 International Federation of Roofing Trade Metal Roof Award
- 2023 North American Copper in Architecture Award Winner
- 2022 North American Copper in Architecture Award Winner
- 2022 NRCA Roofing Alliance Gold Circle Award Nominee
- 2021 MCN Project Excellence Award for Craftsmanship
- 2021 NRCA Roofing Alliance Gold Circle Award Nominee
- 2021 Ludowici Project of the Year Award Finalist
- 2020 NRCA Roofing Alliance Gold Circle Award Nominee
- 2020 North American Copper in Architecture Award Winner
- 2019 NRCA Roofing Alliance Gold Circle Award Finalist
- 2014 North American Copper in Architecture Award Winner



Leadership

Our leadership team includes team members who have been with the company 25 years or more, which demonstrates their dedication to the company's beliefs and industry standards.

President and CEO – Robert W. Raleigh, III

1996 – Present	President and CEO
1994 – 1996	Sales and Marketing Manager

As President and CEO, duties include overseeing all business operations and growth of Renaissance

Chief Operating Officer – Jeff Kassel

2020 – Present	Chief Operating Officer
2002 – 2020	Operations Manager
2000 – 2002	Project Coordinator
1995 – 2000	Sales Associate

Responsible for all roof restoration operations of the business, managing three supervisors and eight crews with up to 70 craftsmen. Projects include full historical roof restorations and repair work across the United States on both residential and commercial projects.

Operations Manager – Kai Loema

2020 – Present	Operations Manager
2000 – 2020	Project Foreman/Superintendent
1997 – 2000	Roofing and Sheet Metal Shop Foreman

Responsibilities include Production Revenue, Staffing (Scheduling, Training & Development), Quality Control and Asset Allocation.

Project Manager – Jake Verhagen

2020 – Present	Renaissance Roofing – Project Manager
2009 – 2020	Structural Preservation Systems – Project Manager

Responsibilities include day-to-day project management.



Management Plan

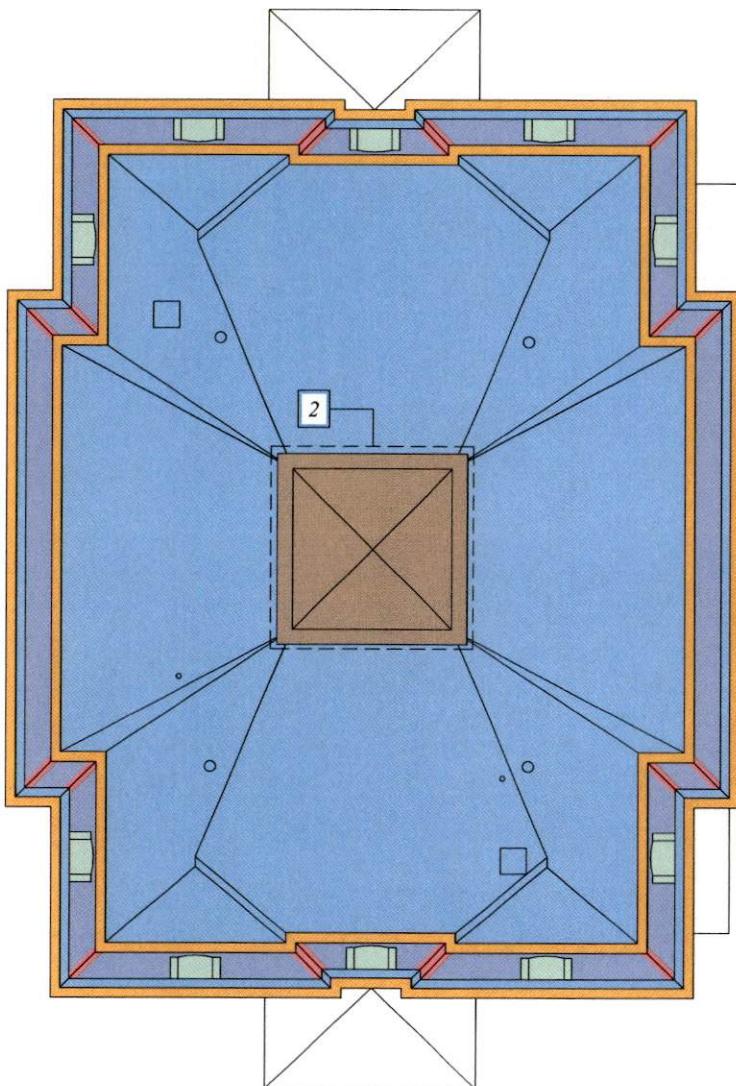
For over 30 years, Renaissance Roofing has developed extensive experience in the restoration of nationally recognized landmarks. These national treasures are just a small percentage of the work we perform on a daily basis. Most of the work we perform is on fully occupied historical single-family homes with highly demanding clients. Our clients are stewards of their historical treasures, and we care for them as such. Our approach to solving complex roofing problems is combined with the care and understanding that comes with providing virtually no interruptions to the family living within the home while we are working.

Our work schedule is based not only on our expectations for the project, but our tens of thousands of hours of working on historical structures and homes all over the United States. Our daily tasks are designed to facilitate outcomes that are essential to the successful outcome, but also eliminate stress and anxiety that develop when major construction activities are taking place. Our daily activities are structured to meet the outcomes of the schedule all while planning for adverse weather events. The Renaissance personnel's execution ensures the buildings we are selected to protect are protected at all times, today and for decades to come.

Reviewing the ever-changing daily weather conditions, with considerations for the long-term schedule are always evaluated by both the project foreman and supervisor on a daily basis. Weekly, the senior production leadership reviews the prior week's progress and measures against the schedule. During these weekly reviews, any necessary adjustments are made and communicated to the project team.

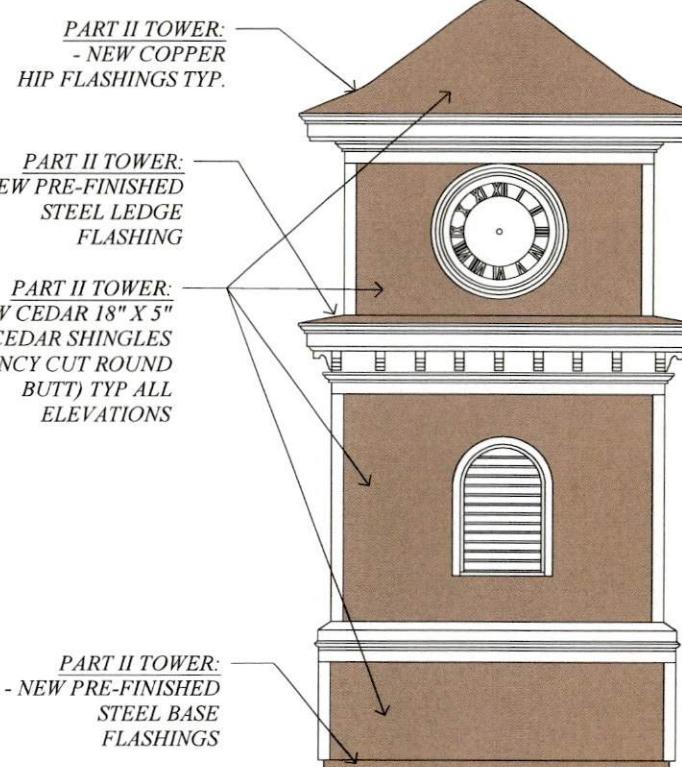


EXHIBIT B

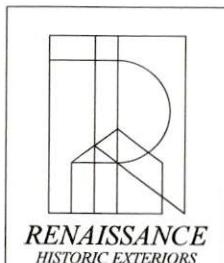


(1) MAIN ROOF SCOPE: PART I 
SCALE: N.T.S

PART I: MAIN ROOF	
	- NEW 16 OZ. COPPER HIP AND VALLEY FLASHINGS
	- NEW 16 OZ. RADIUS DORMER TOPS & LEDGES
	- NEW 60 MIL FR EPDM AND POLYISO
	- NEW 6" K-STYLE GUTTERING SYSTEM, 3"X4" RECTANGULAR DOWNSPOUTS AT ALL EXISTING LOCATIONS
	- NEW 18" X 5" RED CEDAR SHINGLES (FIRE TREATED-FANCY CUT ROUND BUTT)



(2) TOWER SCOPE: PART II
SCALE: N.T.S



RENAISSANCE
HISTORIC EXTERIORS

2231 HAWKEY DRIVE,
BELVIDERE, IL 61108

EFFINGHAM
OLD
COURTHOUSE
MUSEUM

100 E. JEFFERSON AVE.
EFFINGHAM, IL 62401

SCALE: AS NOTED

DRAWN BY: BW

CHECKED BY: REN TEAM

DATE: 12/9/2024

DRAWING TITLE:

ROOF
SCOPES

NOTES:

PAGE NUMBER:



RENAROO-01

TMYERS

DATE (MM/DD/YYYY)
4/30/2024

CERTIFICATE OF LIABILITY INSURANCE

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERNS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER	CONTACT Trenda Myers	
	NAME: PHONE (A/C, No, Ext): (217) 859-7049	FAX (A/C, No):
First Mid Insurance Group 1090 South Route 51 Forsyth, IL 62535	E-MAIL ADDRESS: trenda.myers@firstmid.com	
	INSURER(S) AFFORDING COVERAGE	NAIC #
	INSURER A : Scottsdale Insurance Company	41297
INSURED	INSURER B : The Cincinnati Insurance Company	10677
Renaissance Roofing, Inc. P O Box 5024 Rockford, IL 61125	INSURER C : Key Risk Insurance Company	10885
	INSURER D : United Specialty Insurance Company	12537
	INSURER E :	
	INSURER F :	

COVERAGES

CERTIFICATE NUMBER:

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	COMMERCIAL GENERAL LIABILITY CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR		X	X BCS2001445	5/1/2024	5/1/2025	EACH OCCURRENCE	\$ 1,000,000
							DAMAGE TO RENTED PREMISES (EA occurrence)	\$ 100,000
							MED EXP (Any one person)	\$ 5,000
							PERSONAL & ADV INJURY	\$ 1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER: POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC						GENERAL AGGREGATE	\$ 2,000,000
	OTHER:						PRODUCTS - COMP/OP AGG	\$ 2,000,000
B	AUTOMOBILE LIABILITY ANY AUTO OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS Hired AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY		X	X ENP/EBA0576345	5/1/2024	5/1/2025	COMBINED SINGLE LIMIT (EA accident)	\$ 1,000,000
							BODILY INJURY (Per person)	\$
							BODILY INJURY (Per accident)	\$
							PROPERTY DAMAGE (Per accident)	\$
								\$
A	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input checked="" type="checkbox"/> CLAIMS-MADE			500045439A	5/1/2024	5/1/2025	EACH OCCURRENCE	\$ 5,000,000
	DED <input checked="" type="checkbox"/> RETENTION \$ 0						AGGREGATE	\$ 5,000,000
								\$
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? <input type="checkbox"/> Y/N If yes, describe under DESCRIPTION OF OPERATIONS below		N / A	X KRWC248908	12/31/2023	12/31/2024	PER STATUTE	OTH-ER
							E.L. EACH ACCIDENT	\$ 1,000,000
							E.L. DISEASE - EA EMPLOYEE	\$ 1,000,000
							E.L. DISEASE - POLICY LIMIT	\$ 1,000,000
B	Equipment Floater			ENP/EBA0576345	5/1/2024	5/1/2025	Per Item	275,000
D	Excess			BUN2321056	5/1/2023	5/1/2024	Limit	3,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
SAMPLE FOR PROOF OF COVERAGE

CERTIFICATE HOLDER

CANCELLATION

Renaissance Roofing, Inc.
PO Box 5024
Rockford, IL 61125

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Trenda Myers

Technical Information Sheet



UNA-CLAD™ Kynar 500®/Hylar 5000® Pre-Finished Galvalume® Steel Architectural Sheet & Coil

Item Description

24-Gauge

Description

UNA-CLAD PVDF (polyvinylidene fluoride) Coated Galvalume® Steel Architectural Sheet & Coil is extra smooth, tension leveled, hot-dipped 55% Al-Zn coated steel that is primed and coated on one side with UNA-CLAD full strength Hylar 5000/Kynar 500 (contains a minimum of 70% Hylar /Kynar polyvinylidene fluoride (PVDF) resins) premium fluoropolymer coating system of 1.0 (± 0.1) mil total dry film thickness. For additional protection a wash coat of 0.3 – 0.4 mil dry film thickness is applied to the reverse side. An optional strippable protection film is applied for protection during fabrication and installation. UNA-CLAD PVDF Coated Galvalume Steel Architectural Sheet & Coil is for general sheet metal use in building applications and can be utilized for fascia panels, soffits, gravel stops, copings, and roofing such as flat seam, standing seam, batten seam, and mansards.

Method of Application

1. Install in accordance with recognized sheet metal practices.
2. UNA-CLAD Galvalume can be cut, formed, and fastened using conventional hand or power tools.
3. For best results cutting tool edges should be kept sharp, clean, properly dressed, and closely aligned.
4. Fabrication and erection can be accomplished with strippable plastic film in place. Film should be removed from areas of concealed or joined pieces.

Storage and Packaging

- Elevate metal sheet and coil should be stored in a well ventilated, dry place where no moisture can contact them. Moisture (from rain, snow, condensation, etc.) trapped between layers of material may cause water stains or white rust, which can affect the service life of the material and will detract from its appearance.
- If outdoor storage cannot be avoided, protect the panels with a ventilated canvas or waterproof paper cover. Do not use plastic, which can cause condensation. Keep the material off the ground in an inclined position with an insulator such as wood.

Storage and Packaging Continued

- Storage of end-use materials with protective film applied to the surface should be:
 - Less than six months with masking applied (warehouse storage and outdoor exposure combined).
 - Stored in an enclosed building or holding facility.
 - Wrapped/packaged to prevent exposure to direct UV, water, oils, or other contaminants.
 - Protective film may become brittle with long term UV exposure.
 - Maintained in an environment within a temperature range of 45 to 90 °F (7 to 32 °C) and 20 to 80% relative humidity.
 - Maximum 2,000 lb of sheets per pallet.

Precautions

- Protective film may degrade or become brittle with exposure to direct sunlight. Therefore, it must be removed immediately.
 - The performance of this material in the field depends substantially on the integrity of the paint film and on the underlying coating of zinc being intact. Therefore, this UNA-CLAD product should not be used in areas of high abrasion or where it is subject to mechanical damage.
- Product is pre-finished material; care must be exercised during fabrication and erection to avoid surface damage.
- Elevate recommends a minimum bend radius of 2T. Anything less than a 2T bend radius can cause crazing to the material.
- Attention should be paid to good house-keeping practices.
- Tools must be clean and properly dressed.
- Avoid dragging sheets over surfaces which may scratch or mar the finish.
- For general sheet metal use in building applications.
- Do not cut with power saws or abrasive blades.
- Refer to Safety Data Sheets (SDS) for safety information.

LEED® Information

Post -Consumer Recycled Content:	79%
Pre-Consumer Recycled Content:	7 %
Kynar 500/Hylar 5000 Paint Finish:	AAMA 621-02
Manufacturing Locations:	Anoka, MN Corsicana, TX

NOTE: LEED® is a registered trademark of the U.S. Green Building Council

Product Data

Property	Value
Color	14 Standard Colors; See current UNA-CLAD color chart
Finish	Extra Smooth Matte, Low to Medium Gloss
Optional Finish	Extra Low Gloss*, High Gloss* and Stucco Embossed (Mechanical Finish)*
Wash Coat	Polyester

Product Size		
Gauge	Weight lb/ft ²	Weight kg/m ²
24 ga	1.000	4.89
Gauge	Slit Coil Dimensions	Sheet Dimensions
24 ga	4.0" (0.1 m) - 48" (1.2 m)*	48" (1.2 m) x 96" (2.4 m), 120" (3.1 m) & 144" (3.7 m)*
NOTE: *May not be available in all colors, gauges, or widths. Additional lead times may apply. Contact your Regional Technical Coordinator for additional information.		

Typical Properties of Base Material	
Property	Value
Base Metal	AZ50 – Hot dipped Galvalume® (55% Aluminum and 43+% zinc) steel sheet, commercial weight, meeting ASTM A792/A792M
Minimum Yield	50 KSI
Co-efficient of Thermal Expansion	06.7×10^{-6} in/in/F° (13.9 m/m.K $\times 10^{-6}$)
Modules of Elasticity	29.0×10^6 x KSI (200 GPa)
Specification	ASTM E111-4

Typical Properties of Fluropolymer Coating		
Property	Test Method	Typical Performance
Industry Specifications Compliance	AAMA 2605-17	Voluntary Specification, Performance Requirements and Test Procedures for Superior Performing Organic Coatings on Aluminum Extrusions and Panels
Abrasion Resistance	ASTM D 968, Method A	Coefficient of sand abrasion 65±10 Liters
	ASTM D 4587 Condition B or ASTM G 23 Method 1 or 2, type EH apparatus Hours: 5000	Chalk: Rating of 8 or better per ASTM D 4214 Color: ≤2ΔE color change per ASTM D 2244
	ASTM D 4587 Condition B or ASTM G 53, Method 1 or 2, type EH apparatus or ASTM G154 Hours: 5000	Chalk: Rating of 8 or better per ASTM D 4214 Color: ≤2ΔE color change per ASTM D 2244
Accelerated Weathering	ASTM D 4587 Condition B or ASTM G 23 Method 1 or 2, type EH apparatus or ASTM G151 Hours: 2000 ASTM D 3361 Hours: 1000	Chalk: Rating of 8 or better per ASTM D 4214 Color: ≤2ΔE color change per ASTM D 2244 Acceptable – No cracking, peeling, blistering, loss of adhesion of the protective coating, or corrosion of the base metal Chalk: Rating of 8 or better per ASTM D 4214, Method A (ASTM D 659) Color: <5ΔE Hunter Units per ASTM D 2244
Adhesion	ASTM D 3359, Method B	No loss of adhesion
Chalk Resistance	ASTM D 659	No Chalk; Rating 9-10
Chemical/Acid Pollution Resistance	ASTM D 1308, Procedure 7.2	Pass; No color change
Cyclic Salt Fog	ASTM D 5894 Hours: 3000	Scribe: Rating of 8, 1/32" creepage from scribe per ASTM D 1654, procedure A Field: Rating of 10, no blistering per ASTM D 1654, Procedure B
Formability	ASTM D 522	No cracking, no loss of adhesion to the point of metal rupture

Typical Properties of Fluropolymer Coating Continued

Property	Test Method	Typical Performance
Hardness	ASTM D 3363	HB to 2H
Specular Gloss	ASTM D 523	25-35 at 60 degrees
Humidity Resistance	ASTM D 2247 Hours: 2000 ASTM D 1735 Hours: 1000	Rating of 10; No blistering No blistering, no loss of adhesion
Impact Resistance	ASTM D 2794	Reverse & Direct Impact: No cracking & no loss of adhesion
Salt Spray Resistance	ASTM B 117 Hours: 2000	Scribe: Rating of 7, 1/16" creepage Field: Rating of 10
Tunnel Test	ASTM E84	Class A Coating
UV Exposure	ASTM G 154 Hours: 2016	Chalk: Rating of 8 or better per ASTM D 4214, Method A (ASTM D 659) Color: <5ΔE Hunter Units per ASTM D 2244
Wet Adhesion	Water Immersion Hours: 1500	No loss of adhesion

**Kynar 500 is a registered trademark of Arkema, Inc.*

**Hylar 5000 is a registered trademark of Solvay Solexis, Inc.*

**Galvalume is a registered trademark of Bicc International Inc.*

Please contact Holcim Technical Services at 800-428-4511 for further information.

This sheet is meant to highlight Elevate products and specifications and is subject to change without notice. Holcim takes responsibility for furnishing quality materials that meet published Elevate product specifications or other technical documents, subject to normal manufacturing tolerances. Neither Holcim nor its representatives practice architecture. Holcim offers no opinion on and expressly refuses any responsibility for the soundness of any structure. Holcim accepts no liability for structural failure or resultant damages. Consult a competent structural engineer prior to installation if the structural soundness or structural ability to properly support a planned installation is in question. No Holcim representative is authorized to vary this disclaimer.

CERTIFICATE FOR 30/50 YEAR LIMITED WARRANTY

ORIGINAL OWNER:

CERTIFICATE NUMBER:

EFFECTIVE DATE:

This Limited Warranty (the "Warranty") covers wood shakes and shingles (the "warranted product") for roofing purposes which have been certified by FSR Treatment Inc., Mission, BC, Canada 1-800-663-8301 as having been treated for fire retardation. The warranty is extended to the original/building owner (the "original owner"). In the event that the home/building to which warranted product is applied and is sold by the original owner, the warranty may be transferred to the new home owner (the "new owner"). Under no circumstances may the warranty be transferred to any other person or entity.

TERMS OF LIMITED WARRANTY

Subject to the limitations and exclusions set forth below FSR Treatment Inc., Mission, BC, Canada warrants to the original owner or new owner that the warranted product, as evidenced by a certification label placed thereon, will meet the fire retardation standards as set forth in Uniform Building Code Standard No. 32-7, UL-790, Fire Retardency of Roof-Covering Materials (the "standard"), for its useful life.

Product	Dimensions	Warranty
Split and Resawn	18" x 1/2"	30 Years
Split and Resawn	18" x 3/4"	50 Years
Split and Resawn	24" x 1/2"	30 Years
Split and Resawn	24" x 3/4"	50 Years
Taper Sawn	18" x 5/8"	30 Years
Taper Sawn	24" x 3/4"	50 Years
Taper Sawn	24" x 5/8"	30 Years
Taper Sawn	24" x 3/4"	50 Years
Shingle	18" Perfection	30 Years
Shingle	24" Royal	30 Years
Shingle	16" FIVE X	30 Years

REMEDY

If a warranted product fails to meet the standard, then FSR Treatment Inc., Mission, BC, Canada upon receiving a bona fide warranty claim, will, subject to the limitations and exclusions set forth below, furnish replacement warranted product only. This remedy is the exclusive remedy available under this warranty.

LIMITATION OF LIABILITY

The warranty shall not be effective unless each and every bundle of product applied to the roof or exterior wall carries the FSR Treatment Inc., Mission, BC, Canada label.

This warranty does not cover:

1. **Improper Installation.** Warranted product's failure due to improper installation or application not in accordance with the specifications of the manufacturer and those described by the Cedar Shake & Shingle Bureau;
2. **Tear-Off and Other Costs.** Tear-off (warranted product removal) costs or the cost of installing repairing or replacing ventings, metal work, flashings, underlayments, fasteners or other related materials;
3. **Unapproved Use.** Warranted product that is used for any purpose other than roofing and siding;
4. **Extended Risks.** Warranted products failure due to hurricane, tornado, hail, lightening, flood, fire, explosion, mudslide, earthquake, volcanic eruption, falling objects, aircraft, vehicles, accidents, riot, civil commotion, war or acts of God;
5. **Improper Maintenance.** Warranted product's failure due to build up of moss, leaves, needles, branches or other debris, power washing and application of oils or other foreign substances and lubricants;
6. **Paints or Coatings.** Warranted product's failure or damage caused by paints, coatings or other solutions, or;
7. **Modifications.** Warranted product failure due to repairs or alterations made to roof or walls after original installation.

8. **Raw and Treated.** Only approved fasteners (Hot Dipped Galvanized, Stainless Steel, or Copper) will be warranted. Cold Rolled, Electro Plated or common fasteners will not be warranted.

DISCLAIMER OF LIMITATION OF LIABILITY

THE WARRANTY IS IN LIEU OF ANY OTHER WARRANTY, ORAL OR WRITTEN, EXPRESS OR IMPLIED, AND EXCEPT AS EXPRESSLY PROVIDED HEREIN, FSR TREATMENT INC., MISSION, BC, CANADA 1-800-663-8301, DISCLAIMS ALL WARRANTIES OR REPRESENTATIONS REGARDING ANY SPECIFIC QUALITIES OR CHARACTERISTICS OF ANY WARRANTED PRODUCT INCLUDING, BUT NOT LIMITED TO, ANY IMPLIED WARRANTY OR MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE. FSR TREATMENT INC., MISSION, BC, CANADA SHALL NOT BE LIABLE FOR ANY INCIDENTAL, CONSEQUENTIAL, PERSONAL OR PROPERTY DAMAGES (INCLUDING DAMAGES TO THE HOME/BUILDING OR ITS CONTENTS, OCCUPANTS OR INSTALLERS) RESULTING FROM THE WARRANTED PRODUCT OR ITS INSTALLATION. SOME STATES DO NOT ALLOW LIMITATIONS ON HOW LONG AN IMPLIED WARRANTY LASTS OR THE EXCLUSION OF INCIDENTAL OR CONSEQUENTIAL DAMAGES, SO THE ABOVE LIMITATION MAY NOT APPLY TO YOU. THIS WARRANTY GIVES YOU SPECIFIC LEGAL RIGHTS, AND YOU MAY ALSO HAVE OTHER RIGHTS WHICH VARY FROM STATE TO STATE. YOU ARE SOLELY RESPONSIBLE TO DETERMINE THE DETAILS, REQUIREMENTS AND APPLICABILITY OF STATE LEGISLATION AND STATUTES.

WARRANTY REGISTRATION

The Warranty is effective upon proper warranty registration with FSR Treatment Inc., Mission, BC, Canada 1-800-663-8301 and the issuance of a warranty acknowledgement by the FSR Treatment Inc., Mission, BC, Canada 1-800-663-8301 to the original owner. To register the Warranty, the original owner must submit a completed warranty registration form in the prescribed form to FSR Treatment Inc., Mission, BC, Canada WITHIN THIRTY (30) DAYS after installation of the warranted product. Upon receipt of the complete warranty registration card together with all materials required from the installer FSR Treatment Inc., Mission, BC, Canada will issue a warranty acknowledgement copy to the original owner. To transfer the warranty to a new owner, the original owner must complete transfer form by writing FSR Treatment Inc., Mission, BC, Canada within thirty (30) days following the sale of home/building to which warranted products is applied.

To make a claim under the Warranty the original owner must WITHIN THIRTY (30) DAYS after discovery of the alleged defect to which the claim relates, send a written description of the claim along with a copy of the warranty acknowledgement card to:

Homeowner

Name
Street Address
of Building / Dwelling
City

Shake or Shingle Type
Product
Description
Date Installation
Completed

I,
AND AGREE TO THE

Please m
then send this fc

FSR Treatment
P.O. Box 3280

This document contains the entire warranty and may not be altered by any wholesaler, dealer, roofer, contractor, representative or manufacturer. Of course, any wholesaler, dealer, installer contractor, representative or manufacturer is free to offer its own independent warranty.



Our FSR Class B and Class C treated cedar shingles and shingles meet the strictest quality standards, and are fire rated as per UL 790, ULC S-107-M, ASTM-E-108, UBC 15-2 and NFPA 256. We also offer a Class A roofing system that utilizes our Class B shingles and shingles with Class A fiberglass U/L rated cap sheets. This unique system totally eliminates the need to use gypsum board in Class A applications.



Studies done after the 1990 Painted Cave Fire, which involved an analysis of hundreds of aspects that may influence survivability, found that homes threatened in the typical wildfire encroachment with a fire-rated roof and exterior, and a vegetation clearance of 10 meters or more had a 90% survival rate, which increased to 99% when defensive actions were also taken by civilians or firefighters.

Additional studies have found that homes with no defense elements had only a 20% chance of surviving a wildfire. The majority of homes in the US are built in areas that are considered low-risk to wild fires. In these areas statistics show that less than 1% of home fires originate on roofs of any type. 98% of homes burn due to ignitions from inside the house.



MATERIAL:

FSR is manufactured from #1 grade Certi-Split cedar shingles, #1 grade Certi-Grade cedar shingles or #1 grade Certi-Sawn cedar shingles.

APPLICATION:

Class C Rated Roof: Class C rated shingles shall be placed over spaced or solid sheathing same as untreated products.

Class B Rated Roof: Class B rated shingles shall be placed over a minimum 1/2" solid sheathing or placed over spaced sheathing same as untreated products.

Class A Rated Roof: Utilize a minimum of 1/2" plywood on spaced or solid sheathing, beginning at the eave. A 36" wide (65 lb. minimum) Class "A" cap sheet is rolled out and nailed to prevent movement. Next, an additional cap sheet (65 lb. minimum) is applied to achieve double thickness at eave. The remainder of the deck is exposed 26" to the weather. Once the underlayment is applied, interlace as described in class "B" application above. This results in a class "A" system.

TEST STANDARDS:

UL 790, ULC-S-107-M, ASTM-E-108, UBC 15-2, NFPA 256 and ICBO ES ER 5327.

Intermittent-Flame Test:

Class	Flame Temperature	Flame On Minutes	Flame Off Minutes	Number Of Test Cycles
A	1400 ± 50° F	2	2	15
B	1400 ± 50° F	2	2	8
C	1300 ± 50° F	1	2	3

Spread-Of-Flame Test:

Class	Flame Temperature	Flame Application
A	1400 ± 50° F	10 Minutes
B	1400 ± 50° F	10 Minutes
C	1300 ± 50° F	4 Minutes

Burning Brand Test:

Class	Brand Size	Brand Wood	No. of Brands
A	12" x 12", .225" thick	Douglas Fir	1
B	6" x 6", .225" thick	Douglas Fir	2
C	1.5" x 1.5", .78125" thick	White Pine	20

Flying Brand Test:

Class	Flame Temperature	Flame Application
A	1400 ± 50° F	10 Minutes
B	1400 ± 50° F	10 Minutes
C	1300 ± 50° F	4 Minutes

Rain Test:

Class Exposure

Twelve one week conditioning cycles of 96 hours of water exposure at a rate of 0.7" of water per hour, followed by 72 hours of drying time at 140° F. This equates to 20 to 30 years of actual outdoor rain and wear.

Weathering Test:

Class Exposure

All products have passed I.C.B.O. accelerated 10 year weathering tests. All products are in an ongoing natural 10 year weathering program.

* After the rain test and each weathering test period, the shingles and shingles are again subjected to the intermittent Flame, Burning Brand and Flying Brand tests.

This is only a product description sheet necessary for selection of materials and grades.

For a new roof construction manual and/or wall manual please contact the following distributors:





FIGURE 1—PRODUCT TREATMENT LABELS



FIGURE 2—PRODUCT TREATMENT LABELS FOR CHEMCO, INC.

4.3 Class B Roof Covering:

Products labeled as "Class B" shakes or shingles must be installed in accordance with Section 4.1 of this report, except that for shake installation a 36-inch-wide (914 mm), Type II underlayment, complying with ASTM D226, must be installed under the 15- or 18-inch-long (381 or 457 mm) starter course at the eave line.

4.4 Class C Roof Covering:

Products labeled as "Class C" shakes or shingles must be installed as described in Section 4.3 of this report for the Class B roof covering.

5.0 CONDITIONS OF USE

The FSR Treatment, Inc., FTX fire-retardant-treated shakes and shingles described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

- 5.1 The shakes and shingles are treated, identified and installed in accordance with this report.
- 5.2 The use of the Class B and C shakes and shingles is limited to use on roofs where the respective classification is permitted, except that the Class B shakes and shingles are permitted to be used on roofs required to have a Class A roof covering where they are installed as part of the assembly described in Section 4.2 of this report.
- 5.3 The shakes and shingles are pressure-treated by FSR Treatment, Inc., in Maple Ridge, British Columbia, Canada; and Chemco, Inc. in Ferndale, Washington under a quality control program with inspections by ICC-ES and Fire Tech Services, Inc. (AA-641).

6.0 EVIDENCE SUBMITTED

- 6.1 Data in accordance with the ICC-ES Acceptance Criteria for Classified Wood Roof Systems (AC107), dated September 2004 (editorially revised February 2014).
- 6.2 Treater's published installation instructions.
- 6.3 A quality control manual.

7.0 IDENTIFICATION

- 7.1 Bundles of treated wood shakes and shingles must bear a label noting the shingle or shake grading agency name and compliance with the grading standards noted in the applicable code. An additional label, affixed to each bundle, must bear the treater's name (FSR Treatment, Inc. or Chemco, Inc.), the product name, the name of the inspection agency (ICC-ES and Fire Tech Services, Inc.), the fire classification and the evaluation report number (ESR-1410). Labels for "Class B" shakes must be printed with red ink and labels for "Class C" shakes must be printed with blue ink. See Figure 1 and 2 of this report for product treatment labels.

Starter-course shingles and shakes must be identified with a label bearing the treater's name (FSR Treatment, Inc. or Chemco, Inc.), the product name (Starter-Course), the name of the inspection agency (ICC-ES and Fire Tech Services, Inc.), the fire classification, the evaluation report number (ESR-1410) and the words "To be used as starter course only." Labels for "Class B" starter course materials must be printed with red ink and labels for "Class C" starter course materials must be printed with blue ink.

- 7.2 The report holder's contact information is the following:

FSR TREATMENT, INC.
9486 – 288TH STREET
MAPLE RIDGE, BRITISH COLUMBIA V2W 1L1
CANADA
(604) 462-0640
www.firesmartroofing.com

- 7.3 The Additional Listee's contact information is the following:

CHEMCO, INC.
POST OFFICE BOX 875
FERNDALE, WASHINGTON 98248
(360) 366-3500
www.chemco.us

**DIVISION: 07 00 00—THERMAL AND MOISTURE PROTECTION****Section: 07 31 29—Wood Shingles and Shakes****REPORT HOLDER:**

FSR TREATMENT, INC.

ADDITIONAL LISTEE:

CHEMCO, INC.

EVALUATION SUBJECT:**FSR, FTX, FIRE-RETARDANT-TREATED WOOD SHAKES AND SHINGLES**

1.0 EVALUATION SCOPE

Compliance with the following codes:

- 2012, 2009 and 2006 *International Building Code®* (IBC)
- 2012, 2009 and 2006 *International Residential Code®* (IRC)
- 2013 *Abu Dhabi International Building Code* (ADIBC)†

†The ADIBC is based on the 2009 IBC. 2009 IBC code sections referenced in this report are the same sections in the ADIBC.

- 1997 *Uniform Building Code™* (UBC)

Properties evaluated:

- Roof covering
- Fire classification

2.0 USES

The fire-retardant-treated wood shake and shingle roof coverings are for use where Class A, B or C wood roof coverings are permitted.

3.0 DESCRIPTION

The fire-retardant-treated wood shakes and shingles are produced from No. 1 grade western red cedar shakes complying with IBC Section 1507.9.6 (2012 and 2009 codes and 1507.9.5 (2006 code), IRC Section R905.8.5 or UBC Section 1507.12, or No. 1 western red cedar shingles complying with IBC Section 1507.8.5 (2012 and 2009 codes) and 1507.8.4 (2006 code), IRC Section R905.7.4 or UBC Section 1507.13. The shakes and shingles, having a maximum moisture content of 25 percent, are pressure-treated by FSR Treatment, Inc. or Chemco, Inc., with proprietary fire-retardant chemicals. Treated products are identified as "Class B" or "Class C." The "Class B" treated

shakes and shingles have higher levels of chemical retention than the "Class C" treated shakes and shingles. Fire-retardant-treated starter course materials are supplied by FSR Treatment, Inc. or Chemco, Inc. and are produced from No. 2 grade taper sawn shakes or No. 2 grade shingles complying with the previously referenced code sections, and are also available in "Class B" and "Class C." Products are sold under the trade names FSR FTX.

4.0 DESIGN AND INSTALLATION

4.1 General:

The wood shakes and shingles must be installed on spaced or solid sheathing complying with the applicable code. The wood shakes must be installed in accordance with IBC Section 1507.9, IRC Section R905.8 or UBC Section 1507.12. The wood shingles must be installed in accordance with IBC Section 1507.8, IRC Section 905.7 or UBC Section 1507.13. Fasteners must be stainless steel complying with ASTM A580 Type 304 or 316. The wood shakes must be installed on roofs with a minimum slope of 4:12 (33%), while wood shingles may be installed on roofs with a minimum slope of 3:12 (25%).

Weather exposure of the hip and ridge shakes or shingles must not exceed those exposures permitted for the field of the roof.

Starter courses at the eave must be doubled, with the first course being full-size treated shakes or shingles or 15-inch (381 mm) treated starter-course shakes or shingles. Fifteen-inch (381 mm) or 18-inch (457 mm) treated shakes or shingles may be used for the final course at the ridge.

4.2 Class A Roof Covering:

Products labeled as "Class B" shakes or shingles must be installed in accordance with Section 4.1 of this report, over spaced or solid sheathing covered either with one layer of 1/4-inch-thick (6.4 mm) Dens-Deck® Roof Board, manufactured by Georgia Pacific Corporation, or with one layer of mineral-surfaced cap sheet complying with ASTM D3909. Where underlayment is required, the underlayment shall be installed over the Dens-Deck® board or mineral-surfaced cap sheet. Fastener length for the shakes or shingles must be increased for the thickness of the Dens-Deck board or cap sheet. The Dens-Deck boards must be fastened to spaced or solid sheathing using a minimum of four fasteners per board to avoid panel shifting prior to installation of the shakes or shingles. The mineral-surfaced cap sheet must be installed with 2-inch (51 mm) overlaps on the sides and ends, and attached with a sufficient number of fasteners to hold the sheet in place prior to installation of the shakes.



WATERPROOFING

Sure-Seal® Standard & FR EPDM Membranes

Description

Sure-Seal 45-mil (1.14 mm), 60-mil (1.52 mm) and 90-mil (2.29 mm) membranes are Ethylene Propylene Diene Terpolymer (EPDM)-based elastomeric homogenous roof coverings that can be used for a variety of waterproofing applications. Membranes are available in widths up to 10' (3 m) and lengths up to 100' (30 m). These membranes are available as Fire Retardant (FR) membranes, which are specially formulated to inhibit spread of flame and meet or exceed code body testing criteria for fire retardant roofing membranes.

Installation

Sure-Seal 45-, 60- and 90-mil membranes are primarily utilized in Design A, Fully Adhered Roofing System/Waterproofing Systems. The substrate and membrane are coated with Carlisle Bonding Adhesive. The membrane is then rolled into place and broomed down. SecurTape and HP-250 Primer are applied to the splice area. As an alternate, Splicing Cement, In-Seam and Lap Sealant may be used for splicing. Consult CCW specifications for complete installation information.

Warnings and Hazards

- Use proper stacking procedures to ensure sufficient stability of the materials.
- Exercise caution when walking on wet membrane. Membranes are slippery when wet.

Limited Warranty

Carlisle Coatings & Waterproofing Incorporated (Carlisle) warrants this product to be free of defects in workmanship and materials only at the time of shipment from our factory. If any Carlisle materials prove to contain manufacturing defects that substantially affect their performance, Carlisle will, at its option, replace the materials or refund its purchase price. This limited warranty is the only warranty extended by Carlisle with respect to its materials. There are no other warranties, including the implied warranties of merchantability and fitness for a particular purpose. Carlisle specifically disclaims liability for any incidental, consequential, or other damages, including but not limited to, loss of profits or damages to a structure or its contents, arising under any theory of law whatsoever. The dollar value of Carlisle's liability and buyer's remedy under this limited warranty shall not exceed the purchase price of the Carlisle material in question.

Typical Properties

Property	Method	Spec. (Pass)	Typical
Tolerance on Nominal Thickness, %	ASTM D412	±10	±10
Weight, 1bm/ft ² (kg/m ²)			
45-mil	—	—	0.26 (1.27)
60-mil	—	—	0.35 (1.71)
90-mil	—	—	0.59 (2.88)
Tensile Strength, min, psi (Mpa)	ASTM D412	1305 (9)	1600 (11.0)
Elongation, Ultimate, min %	ASTM D412	300	465
Tear Strength, min, lbf/in (kN/m)	ASTM D624 (Die C)	150 (26.3)	200 (35.0)
Factory Seam Strength, min	Modified ASTM D816	Membrane Rupture	Membrane Rupture
Resistance to Heat Aging*			
Properties after 28 days @ 240°F (116°C)	ASTM D573	1205	1450
Tensile Strength, min, psi (MPa)	ASTM D412	(8.3)	(10.0)
Elongation, Ultimate, min, %	ASTM D412	200	280
Tear Strength, min, lbf/in (kN/m)	ASTM D624	125 (21.9)	215 (37.6)
Linear Dimensional Change, max, %	ASTM D1204	±1.0	-0.5
Ozone Resistance*			
Condition after exposure to 100 ppm Ozone in air for 168 hours @ 104°F (40°C) Specimen is at 50% strain	ASTM D1149	No Cracks	No Cracks
Brittleness Temp., max, °F (°C)*	ASTM D746	-49 (-45)	-49 (-45)
Resistance to Water Absorption*			
After 7 days immersion @ 158°F (70°C)	ASTM D471	+8, -2	+2.0
Change in mass, max, %			
Water Vapor Permeance* max, perms	ASTM E96 (Proc. B or BW)	0.10	0.03
Resistance to Outdoor (Ultraviolet) Weathering* Xenon-Arc, total radiant exposure at 0.70 W/m ² irradiance, 80°C black panel temp.	ASTM G155	No Cracks No crazing 7,560 kJ/m ²	No Cracks No crazing 41,580 kJ/m ²

*Not a Quality Control Test due to the time required for the test or the complexity of the test. However, all tests are run on a statistical basis to ensure overall long-term performance of the sheeting.

ARCHITECTURAL GUIDE SPECIFICATIONS

The following are parts of a guide specification for incorporation into architectural specifications. Complete details, specifications and descriptive text for the installation of copper roofs, gutters, flashings, etc., are contained in the Revere manual *Copper & Common Sense*.

General

QUALITY ASSURANCE

Unless otherwise shown or specified, comply with applicable recommendations and details in *Copper & Common Sense* by Revere Copper Products, Inc.

Products

Material Data

Physical Properties

Atomic wt.	63.54			
Specific gravity	8.89 to 8.94			
Density	.0322lb./cu.in.			
Coefficient of thermal expansion	0.0000098			
Thickness	Theoretical	Minimum	Wt/Sq. Ft	
16 oz.	0.0216"	0.0204"	1.00 lb.	
20 oz.	0.0270"	0.0258"	1.25 lb.	
24 oz.	0.0323"	0.0308"	1.50 lb.	
32 oz.	0.0431"	0.0411"	2.00 lb.	
Mechanical properties	Temper	designation		
	Soft	Cold-rolled		
	060	H00	H01	H02
Tensile strength	30-38	32-40	34-42	37-46
Yield strength	-	20	28	30
Elongation	45%	30%	25%	10%
Rockwell F Scale	65	54-82	60-84	77-89

MATERIALS

A. Copper- Select copper or coppers as required for aesthetics.

1. **Standard sheet copper:** cold rolled ounce weight (12-ounce, 16-ounce, 20-ounce, and/ or 32-ounce as noted on drawings) copper sheet complying with ASTM B370. Unless otherwise noted, temper shall be H00.

2. **ContinentalBronze:** Our pre-aged copper is shipped with a natural brown/bronze copper oxide finish. This material has no chemicals on the surface and will patina over time, in most environments the copper surface will eventually weather to a green patina.

3. **Tin-zinc alloy coated copper:** cold rolled ounce weight (12-ounce, 16-ounce, and 20-ounce as noted on drawings) copper coated both sides with tin-zinc alloy. Base copper sheet or coil shall comply with ASTM B370. Finish and appearance shall be that of Revere **FreedomGray™**.

4. **Pan-forming copper:** cold rolled ounce weight (12-ounce, 16-ounce and/ or 20-ounce as noted on drawings) copper in coil complying with ASTM B370 and manufactured in accordance with specifications for Revere **Ultrapan™**.

5. **Textured copper:** Solid copper having a designated minimum copper content of 99.5% or higher, in thickness ranging from .008" to .135", as specified on drawings. Finish and appearance shall be that of **Liberty Collection™ Rigidized®** textured copper.

6. **Copper composite panel:** Thermoplastic core coated both sides with lightweight copper sheet, with a protective film on exterior skin. Total thickness shall be 4mm or 6mm as specified on drawings. Finish and appearance shall be that of Revere **Alpolic Composite Panel™**.

B. Solder- shall conform to ASTM B32. For **FreedomGray** tin/zinc alloy coated copper- Pure tin or lead-free, high-tin solders such as Number 497 by Johnson Manufacturing.

C. Fasteners- for plain copper, **Continental Bronze** and **FreedomGray** tin/zinc alloy coated copper shall be copper, copper alloy or non-magnetic, series 300 stainless steel.

Execution

STORAGE AND COORDINATION

A. Store all architectural copper sheet and coils (plain/bare, **Continental Bronze**, and /or **FreedomGray**) off the ground in an enclosed structure so as to maintain dry conditions and exclude condensation. Do not store on bare ground under tarp.

B. Handle sheets and formed shapes in a manner to reduce scratches.

Note: The use of gloves may minimize fingerprints during initial weathering. Fingerprints fade and disappear with addition weathering. However, in arid locations they may persist for an extended period.

INSTALLATION

A. Except as otherwise shown or specified, comply with Revere Copper Products, Inc. recommendations and instructions as published in *Copper & Common Sense* and published Revere literature.

B. Separate and protect dissimilar metals as recommended by manufacturers of dissimilar metals (other than copper).

C. Solder plain/bare copper or **FreedomGray** in accordance with instructions published by Revere Copper Products, Inc.

Note: Prior to soldering plain/bare copper, **ContinentalBronze** or **FreedomGray**, areas to be soldered must be mechanically cleaned to produce a bright, unoxidized surface. Plain/bare copper and **ContinentalBronze** should be pre-tinned before soldering. It is not necessary to remove the tin-zinc alloy coating from the **FreedomGray**.

CLEANING

Do not chemically or abrasively clean plain/bare copper, **ContinentalBronze** and/or **FreedomGray**. If necessary, construction dirt may be washed from copper with clean, fresh water only. Do not use soaps, detergents or other cleaning agents.

PROTECTION

Protect plain/bare copper, **ContinentalBronze** and/or **FreedomGray** from oils, greases, masonry cleaning compounds, iron and steel fines and fasteners, and other construction materials that may stain or discolor copper surface. To minimize condensation or water stains, at the end of each workday, remove tarps or other protections placed on copper.

Manufacturing representatives are available for assistance or on-site meetings.

Refer to current manufacturer's SDS for safety and handling information.



Revere Copper Products, Inc.

One Revere Park, Rome, NY 13440-5561

For technical assistance:

1-800-448-1776 ext. 2554

www.reverecopper.com

email: archcopper@reverecopper.com

Revere Liberty Collection, **FreedomGray**, **ContinentalBronze**, **Ultrapan** and Revere Classic Copper are trademarks of Revere Copper Products, Inc.

Alpolic Composite Panel is a trademark of Mitsubishi Chemical America. Rigidized is a registered trademark of Rigidized Metals Corporation. ZT/TZ alloy is a trademark of Revere Copper Products, Inc.



BID TABULATION SHEET

PROJECT: Effingham County Museum Roof Replacement

COMMITTEE MEETING: Building and Grounds

DATE: 12/10/2024

BID #1	VENDOR NAME	SAMS VERIFICATION	BID AMOUNT	DETAILS
	Renaissance Historic		\$ 1,085,900.00	Main Mansard Roof & Low Sloped Roofing Membrane
	Exteriors		\$ 264,000.00	Tower Roof & Vertical Wall Cladding
			\$ 1,349,900.00	Total Project
BID #2	VENDOR NAME	SAMS VERIFICATION	BID AMOUNT	DETAILS
	ProVantage		\$ 154,995.00	Mansard Cedar Shake Roof Replacement
			\$ 13,500.00	Remove and Replace all EPDM on ledge
			\$ 16,500.00	Clocktower - Remove and Replace up to 500 sq. ft. of cedar shake
			\$ 184,995.00	Total Project
BID #3	VENDOR NAME	SAMS VERIFICATION	BID AMOUNT	DETAILS
	Proper T Works, LLC		\$ 301,370.00	Remove and Replace Cedar Shake and Rubber Roof Membrane
			\$ 34,466.00	Clocktower - Remove and Replace cedar shake
			\$ 335,836.00	Total Project
BID #4	VENDOR NAME	SAMS VERIFICATION	BID AMOUNT	DETAILS
	Central Illinois Construction		\$ 169,000.00	Remove and Replace with Synthetic Shake
			\$ 196,000.00	Remove and Replace with Cedar Shake
			\$ 63,970.00	Apply Elastomeric Coating to Rubber Roof and Repairs
			\$ 67,000.00	Remove and Replace Rubber Inlaid Transition/Overhang
			\$ 122,055.55	Clocktower - Remove and Replace with Synthetic Shake
			\$ 136,111.11	Clocktower - Remove and Replace with Cedar Shake
			\$ 422,025.55	Total Project with Synthetic Shake
			\$ 463,081.00	Total Project with Cedar Shake

RFP AWARDED TO: VENDOR NAME BID AMOUNT REASON

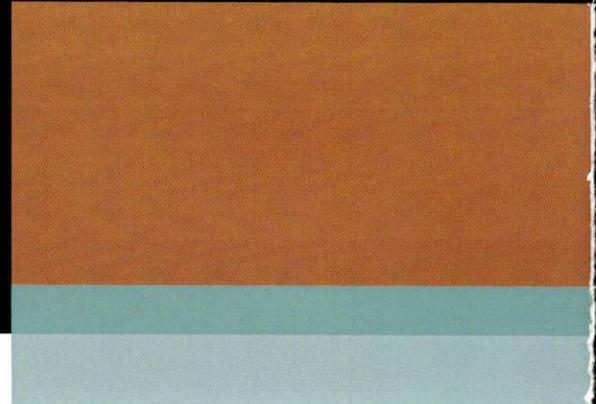


OUR SERVICES: HISTORIC ROOFING



HISTORIC ROOFING

TOOLS. RESOURCES. TECHNIQUE.



PROTECTION AND PRESERVATION FOR THE ROOF OVER YOUR HEAD, AND THE VALUABLE ASSETS WITHIN

Our historic roofing services restore both the appearance and structural integrity of your building utilizing our masonry, carpentry, and architecture sheet metal expertise. With more than 1,000 historical roofing restorations, we have the knowledge and experience to restore the most intricate and distinctive roofing systems. Our team has the tools, resources, and skills to work with a variety of roofing types to ensure your roof can perform for decades.

CLAY TILE ROOFING | (vitrified in a kiln)

The most common style of roofing for structures such as churches, universities, courthouses, large country estates, and other historic buildings, our team of restoration specialists has the capacity to restore the most common variants of clay tile roofing, including clay french tile, clay interlocking tile, clay pan and cover tile, clay shingle and/or spanish tile, and clay trim.



NATURAL SLATE ROOFING | (quarried from the ground)

With thousands of successful slate roof restorations across the United States, our restoration teams have perfected the installation and replacement methods to ensure superior quality, durability, and historical accuracy. We also carry a large inventory of Vermont Slate, Buckingham Slate, and Pennsylvania Slate for timely and attractive slate roof repairs.

CONCRETE TILE ROOFING

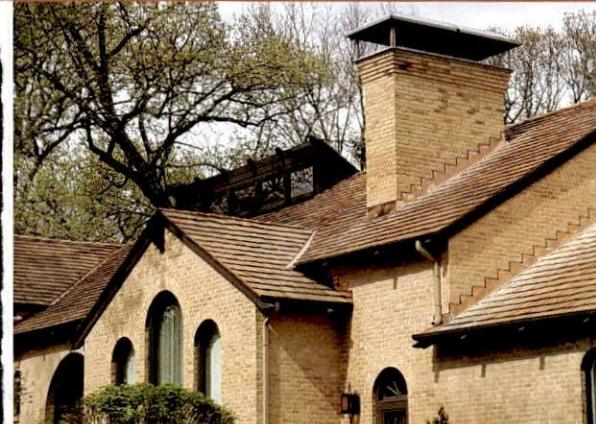
If installed properly, concrete tile roofing can last a lifetime, and the variety of colors, sizes, and styles makes concrete tile a unique and innovative roofing material. However, with more weight per square foot than other roofing materials like asphalt or cedar, a comprehensive roofing assessment and high degree of expertise with proper installation is critical for a quality end product. Our specialists have the ability to facilitate just such an installation for long-term durability.





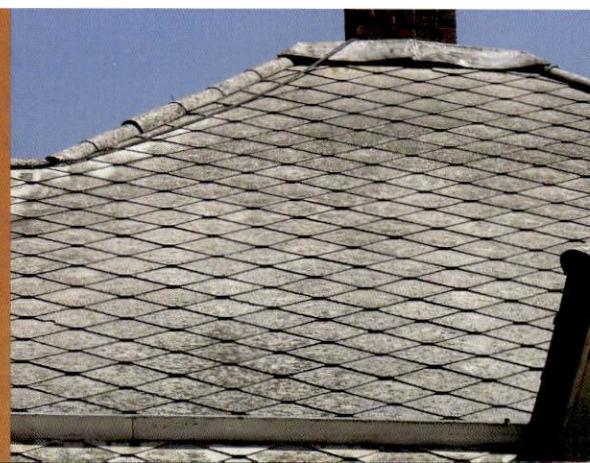
METAL ROOFING

With an average lifespan of 100 years, metal roofing has emerged as a popular replacement for asphalt shingles. However, regular inspection and maintenance of metal roofing is critical to avoiding corrosion and fatigue, and our historic building specialists have extensive experience in this type of inspection. Our restoration teams have unparalleled experience in repairing and maintaining a variety of metal roofing applications such as copper, lead, iron, zinc, and tin.



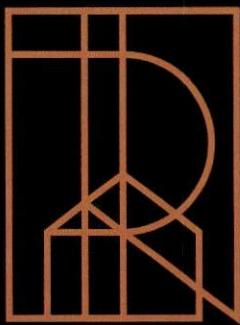
ASBESTOS ROOFS

Originally popular with roofing companies in the early part of the 1900s because of the durability, fireproof capabilities, ease of installation, and affordability, asbestos roofs are common in historical structures and can be dangerous to replace. Asbestos shingles are often mistaken for natural slate. Our restoration teams make safety a top priority and possess the detail-oriented skill set to replace asbestos roofing with a safe, sustainable option.



COPPER ROOFING

Whether it's bay windows, clock towers, bell towers, steeples, courthouse roofs, or domes, we have the ability to work with a variety of copper roofing applications such as batten seam copper roofs, standing seam copper roofs, and flat seam copper roofs, as well as dome restoration. As another popular alternative to asphalt shingles, our team is able to create a copper roofing system that lasts for decades.



RENAISSANCE

HISTORIC EXTERIORS

HEADQUARTERED IN BELVIDERE, ILLINOIS
RENAISSANCE ALSO HAS AN OPERATIONS CENTER IN ST. LOUIS, MISSOURI

800.699.5695
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STATE OF ILLINOIS UNLIMITED LICENSED ROOFING CONTRACTOR LICENSE NO. 104-011318



OUR SERVICES: HISTORIC MASONRY



HISTORIC MASONRY

KNOWLEDGE. EXPERIENCE. SKILL.

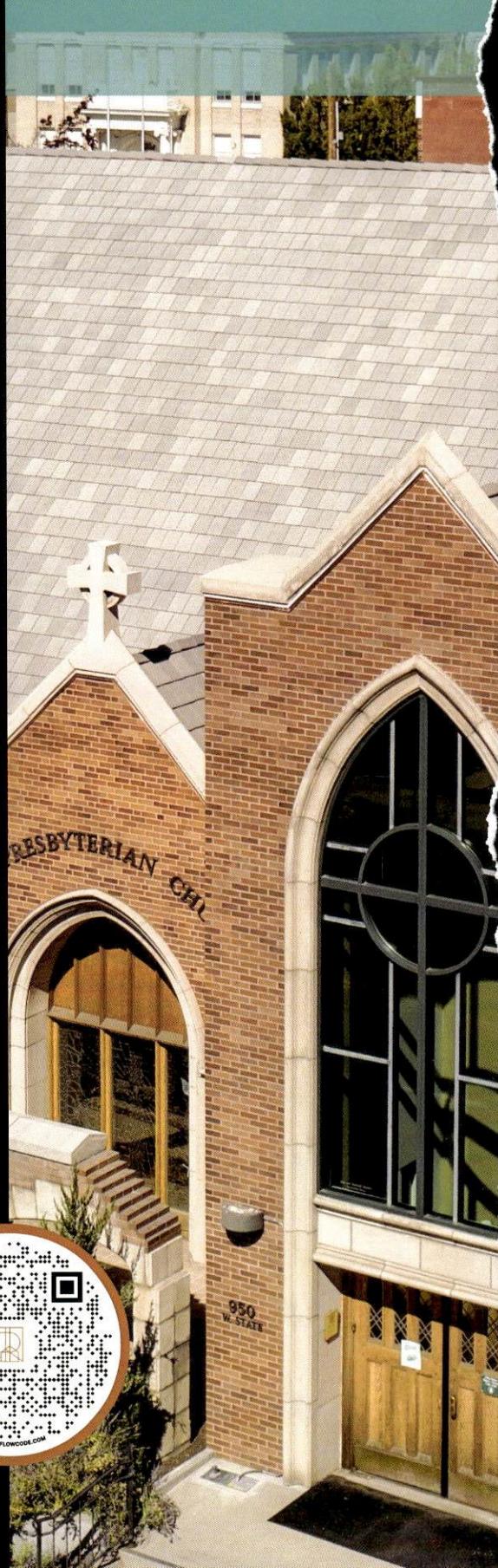
IN-HOUSE MASONS RESTORE YOUR MASONRY FOR A SUCCESSFUL RESTORATION

FROM BRICK OR STONE BUILDINGS TO CHIMNEYS TO CUSTOM ARCHITECTURAL ELEMENTS, OUR IN-HOUSE TEAM OF HISTORIC MASONRY SPECIALISTS HAVE THE KNOWLEDGE, SKILLS, AND EXPERIENCE TO ENSURE A HISTORICALLY ACCURATE, STRUCTURALLY SOUND RESTORATION OF YOUR BUILDING.

OUR HIGHLY-SKILLED MASONRY PROFESSIONALS NOT ONLY UNDERSTAND THE OLD-WORLD PROCESSES AND MATERIALS USED IN HISTORIC MASONRY, BUT THEY ALSO HAVE MASTERY OF THE LATEST TECHNIQUES, EQUIPMENT, AND RESOURCES TO RESTORE THE AESTHETICS AND STRENGTH OF YOUR HISTORIC MASONRY.

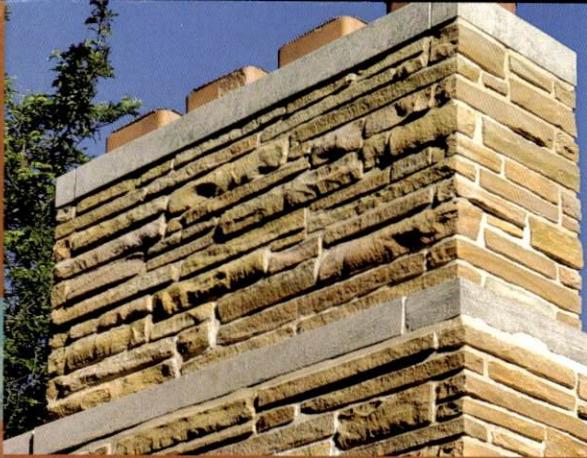
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VISIT OUR WEBSITE
TO LEARN MORE ABOUT WHAT WE DO





CHIMNEY CROWNS

Cracks or crumbling of chimney crowns is both common with historic masonry and detrimental to the visual appeal and strength of your historic structure. Our crown repair solutions not only restore the durability and aesthetics of your chimney, but they also help maintain other roof components of your building. Cracks can lead to water seeping into the chimney structure, resulting in leaks and damage to both the chimney and the interior of the building.

POINTING

Historic masonry requires the proper historic mortar when dealing with historic brick work. Pointing brick is vitally important in ensuring the durability and visual appeal of your structure. Deteriorating mortar can result in larger structural or foundational problems, and our restoration specialists have the know-how and resources to identify pointing issues and repair them.



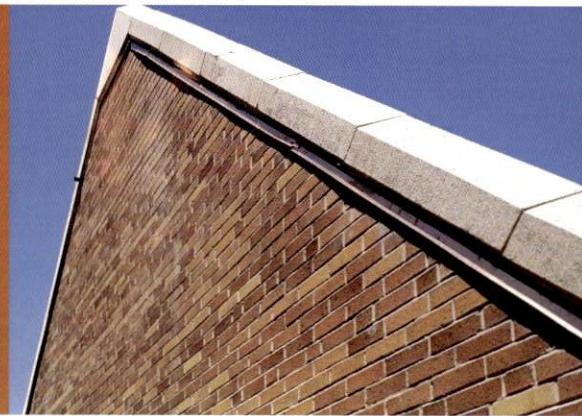
CHIMNEY WATERPROOFING

Masonry absorbs water and prolonged periods of rain or lack of regular maintenance can result in a buildup of water that is detrimental to chimneys and surrounding masonry. This is where expertise and experience in chimney waterproofing proves crucial for maintaining the look and stability of your historic masonry. Our restoration experts have the skills and resources to craft a waterproofing solution for any application to keep your chimney in prime condition regardless of age or environment.



CAPSTONE/COPING REPAIRING & REBUILDING

Capstones are an important element in masonry, the purpose being to assist with water run-off on the top of masonry walls. When the mortar between these large stones deteriorates, it allows rainwater and melting snow to penetrate the bricks below the capstone, and that water can eventually penetrate the interior walls and ceiling, causing extensive repairs, both inside and outside. Our experts have years of experience on both residential and commercial projects.



TERRA-COTTA CLEANING & REPLACEMENT

Cleaning involves removal of surface grime, black encrustations, surface and sub-surface salts, and geological growth. In some instances, the terra-cotta elements may be missing small details which can be re-created to match other existing elements and occasionally must be re-created completely from historic photography then re-glazed to match.





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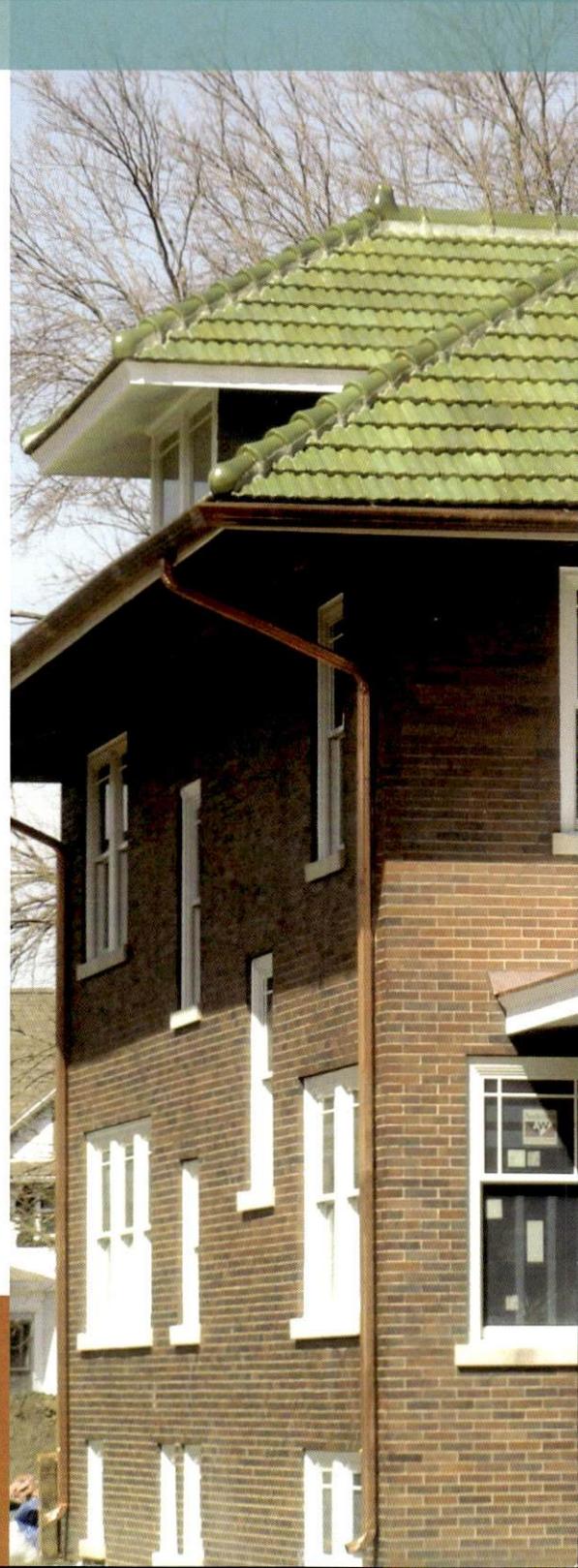
OUR SERVICES: ARCHITECTURAL SHEET METAL

IN-HOUSE FABRICATION FOR HISTORICALLY ACCURATE COMPONENTS

ARCHITECTURAL SHEET METAL FABRICATION, REPAIR, AND MAINTENANCE IS NOT ONLY AT THE CORE OF OUR DEDICATION TO HISTORICAL RESTORATION, BUT ALSO PUTS US IN A UNIQUE AND ADVANTAGEOUS POSITION COMPARED TO OUR COMPETITORS. OUR \$1.0 MILLION+ COPPER STUDIO ALLOWS US TO QUICKLY, ACCURATELY, AND WITH AN EMPHASIS ON HISTORICAL INTEGRITY, REPRODUCE SHEET METAL COMPONENTS IN-HOUSE.

OUR ABILITY TO FABRICATE SHEET METAL COMPONENTS INTERNALLY PROVIDES A HIGHER QUALITY OVERALL PRODUCT, REDUCED LEAD TIMES IN PROJECT COMPLETION, AND GREATER TRANSPARENCY INTO THE OVERALL PROJECT STATUS FOR OUR CUSTOMERS.

BRINGING NEW LIFE TO HISTORICAL BUILDINGS



ARCHITECTURAL SHEET METAL

OUR EXTENSIVE ARCHITECTURAL SHEET METAL PRODUCTION CAPABILITIES INCLUDE:

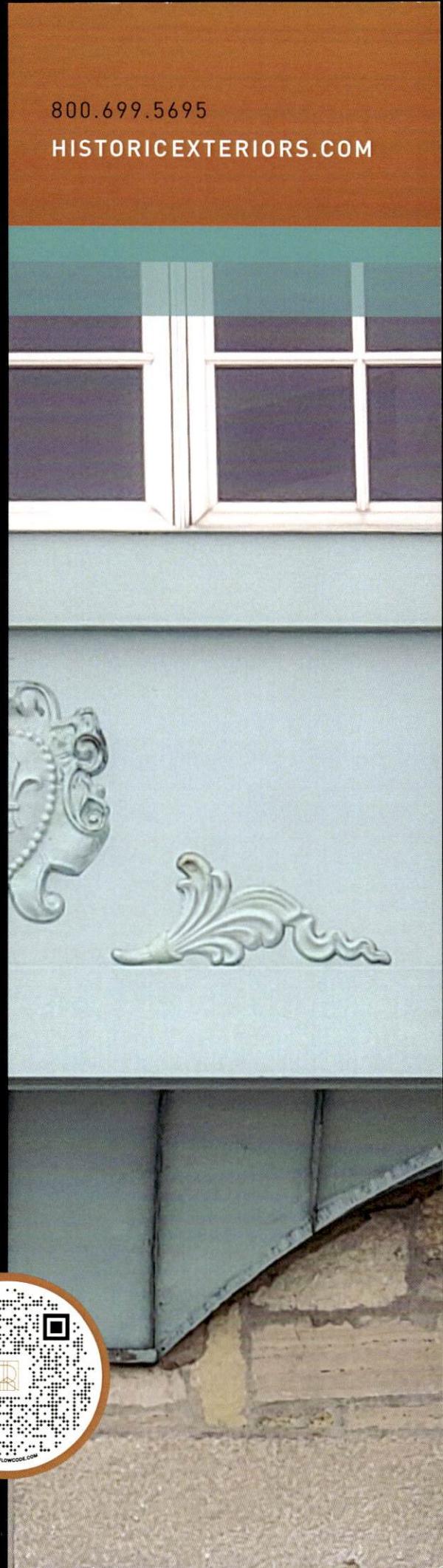
- TURRETS
- DOMES
- STEEPLES
- CLOCK TOWERS
- BELL TOWERS
- BAY WINDOWS
- CUPOLAS
- FACADES
- ORNAMENTS
- ENTABLATURE
- SCUPPER BOXES
- COLLECTOR BOXES
- MODILIONS
- STATUES
- FINIALS
- VENTS
- LOUVRES
- ROOF FLASHINGS
- AND MORE

WITH OUR IN-HOUSE COPPER STUDIO FOR ARCHITECTURAL SHEET METAL FABRICATION, OUR RESTORATION TEAM CAN PROVIDE PEACE OF MIND THAT YOUR SHEET METAL SOLUTION IS COMPLETED WITH ACCURACY, HISTORICAL INTEGRITY, AND DURABILITY TO LAST FOR YEARS.

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OUR SERVICES: HISTORIC CARPENTRY

SUPERIOR CRAFTSMANSHIP FOR THE CARE OF YOUR HISTORIC BUILDING

EXCELLENCE IN HISTORIC RESTORATION STARTS WITH AN EXEMPLARY UNDERSTANDING AND KNOWLEDGE OF THE PROCESSES, TECHNIQUES, AND MATERIALS THAT WERE USED IN THE ORIGINAL CONSTRUCTION. HISTORICAL ROOFING RELIED LARGELY ON WOOD FOR FRAMING AND OTHER STRUCTURAL COMPONENTS, WHICH MEANS THE CRAFT OF HISTORICAL CARPENTRY IS CRITICAL TO THE SUCCESSFUL RESTORATION OR REPAIR OF A HISTORIC EXTERIOR.



BRINGING NEW LIFE
TO HISTORICAL BUILDINGS

SUPERB CARE FOR HISTORIC CARPENTRY

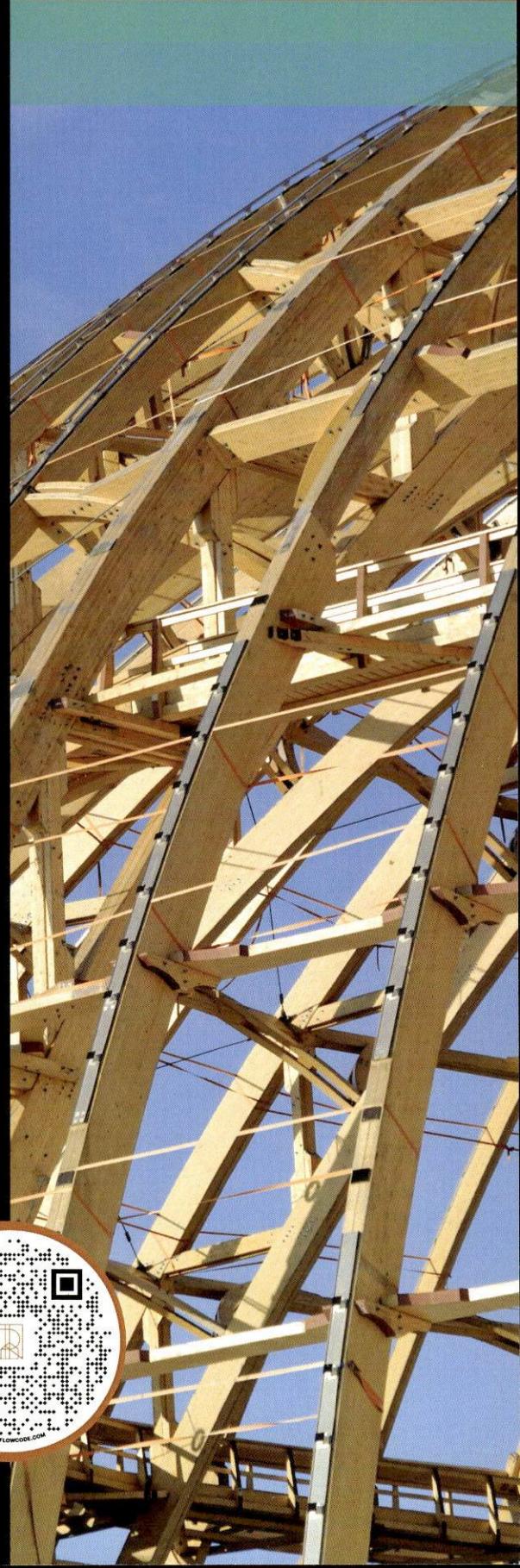
OUR RESTORATION SPECIALISTS ARE TRUE CRAFTSMEN AND THEIR KNOWLEDGE AND UNDERSTANDING OF HISTORICAL ROOFING SYSTEMS AND THE PROCESSES TO RESTORE THEM IS SECOND TO NONE. OUR HISTORIC CARPENTRY SERVICES INCLUDE:

- FRAMING AND STRUCTURAL UPGRADES
- ROOF DECKING REPLACEMENT
- BUILT-IN GUTTER FRAMING REPLACEMENT
- EXTERIOR CARPENTRY, SIDING, AND TRIM
- TRADITIONAL COLUMNS, POST & BEAMS, HALF-TIMBER TIMBER FRAMING AND UPGRADES
- RAILINGS, CORBELS, & BRACKETS

OUR HISTORICAL CARPENTRY SKILLS ARE ALSO APPLICABLE TO RESTORATIONS OF DORMERS (INCLUDING THE SIDING, WINDOW FRAMES, WINDOW SASHES), GABLE/BARGE BOARDS, SOFFITS, FASCIA, AND OTHER AESTHETIC AND STRUCTURAL COMPONENTS OF A ROOFING SYSTEM TO HELP PROTECT AND PRESERVE THE ENTIRE BUILDING.

800.699.5695

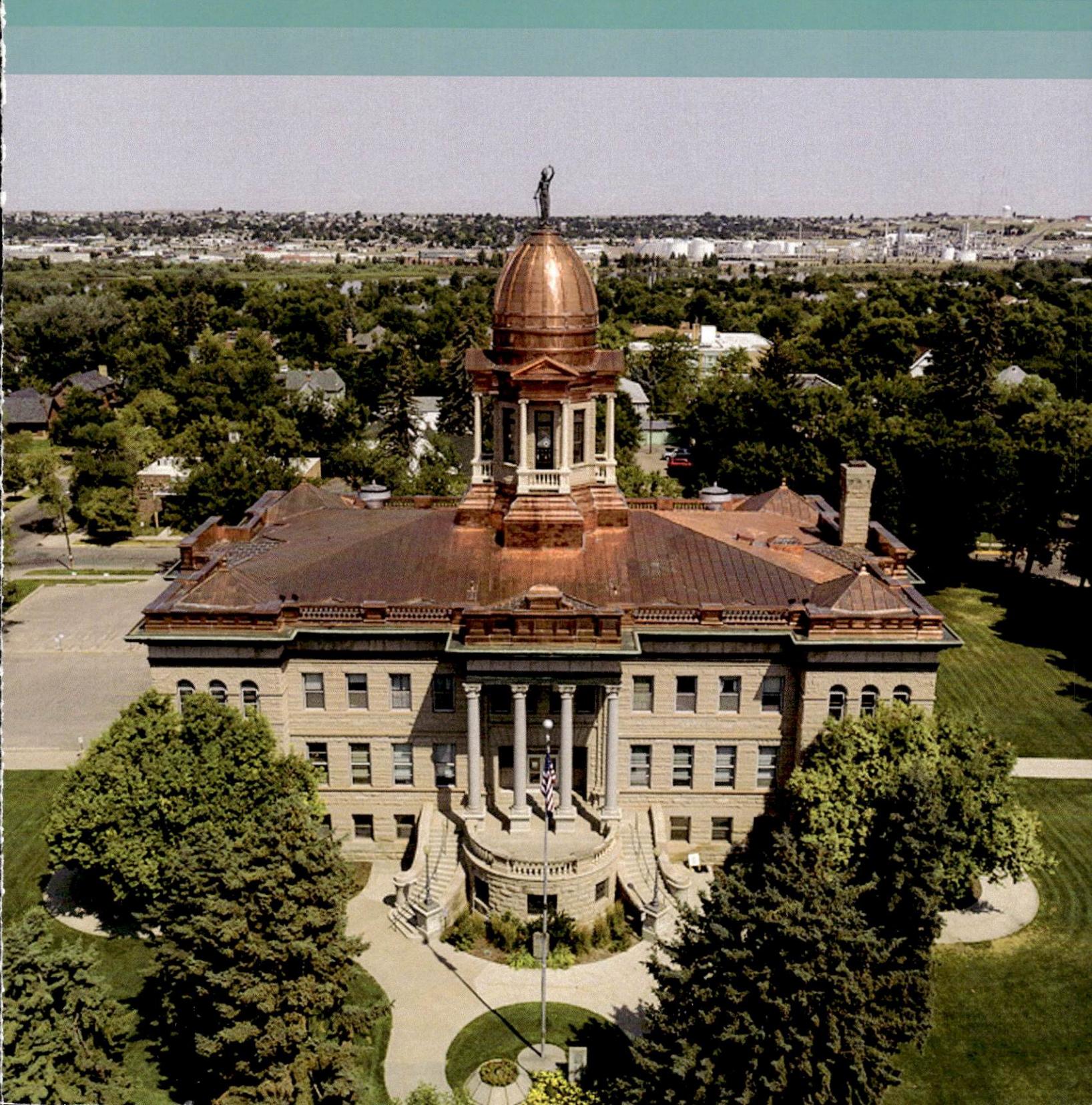
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OUR SERVICES: COMPLETE RESTORATION



THE RENAISSANCE WAY

RELIABILITY. PROFESSIONALISM. EXPERTISE.

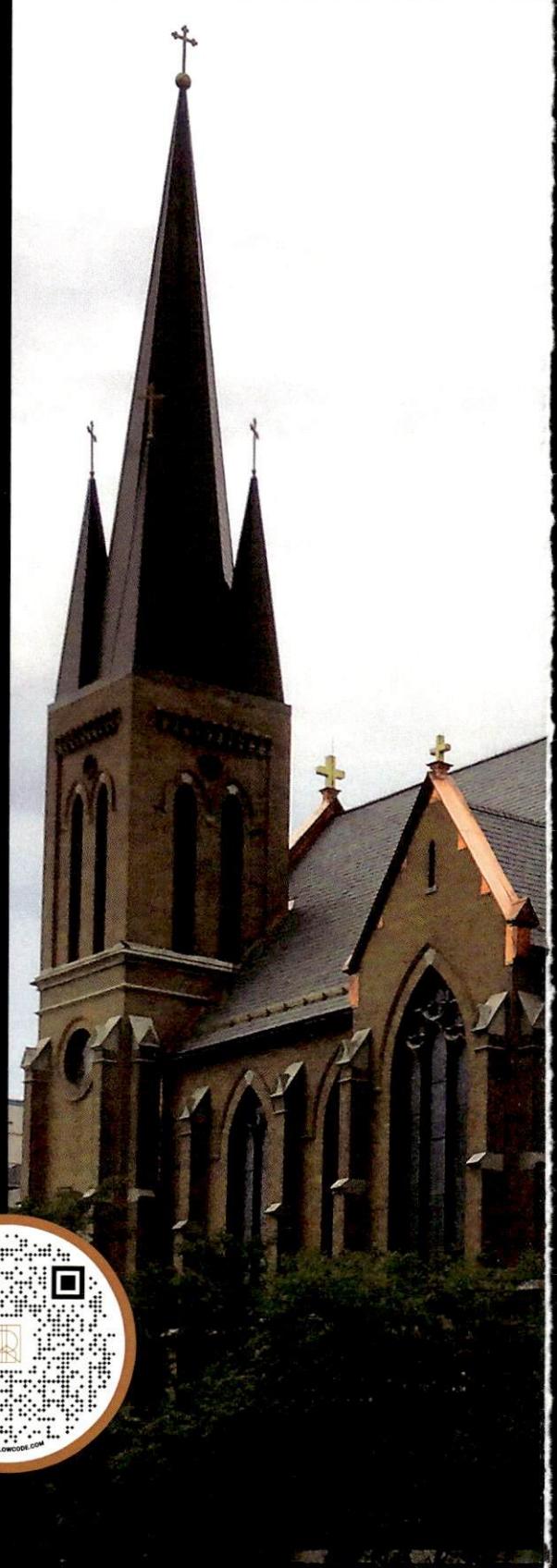
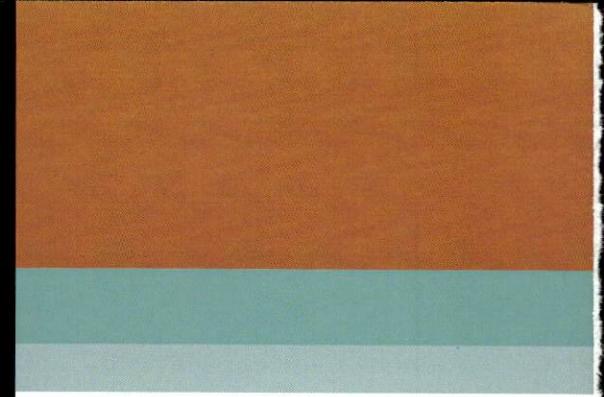
AT RENAISSANCE, WE PERFORM BOTH RESIDENTIAL AND COMMERCIAL RESTORATIONS. NO MATTER THE PROJECT, WE ARE GUIDED BY THE BELIEF THAT HISTORICAL BUILDINGS DESERVE CARE, RESPECT, AND STEWARDSHIP. OUR TEAM OF RESTORATION EXPERTS HAS THE KNOWLEDGE, EXPERIENCE, AND PASSION TO RESTORE YOUR STRUCTURE WHILE MAINTAINING ITS HISTORICAL INTEGRITY.

OUR PROMISE. OUR MISSION.

OUR PROMISE IS TO USE OUR COMPREHENSIVE APPROACH TO YOUR HISTORICAL RENOVATION IN ORDER TO FIND A PERMANENT SOLUTION FOR YOUR PROPERTY. OUR MISSION IS TO ELEVATE THE LIVES OF OUR PEOPLE USING OUR EXPERIENCE AND CRAFTSMANSHIP TO PRESERVE HISTORY.

A NATIONALLY RECOGNIZED LEADER IN THE FIELD OF HISTORICAL BUILDING RESTORATION SINCE 1992, WE CONSTRUCT CUSTOM RESTORATION SOLUTIONS FOR HISTORICAL HOMES, CHURCHES, UNIVERSITIES, COURTHOUSES, AND STATE CAPITOL BUILDINGS, INCLUDING MANY BUILDINGS ON THE NATIONAL REGISTER OF HISTORIC PLACES.

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RESIDENTIAL RESTORATIONS

TRUST. TRANSPARENCY. TOGETHER.

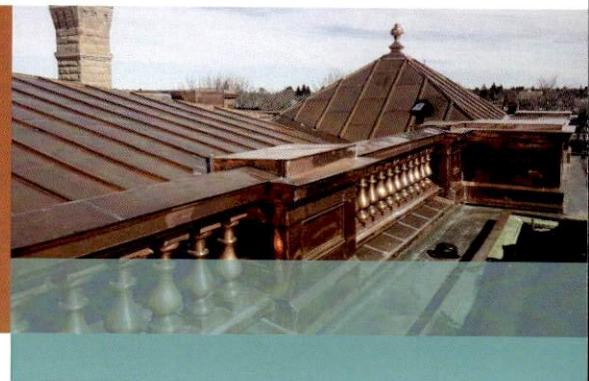
YOUR HISTORICAL HOME IS IN GOOD HANDS WITH RENAISSANCE.

We work to find a permanent solution for immediate issues while at the same time putting the long-term interests of your home first. Our expertise in a variety of restoration techniques, building materials, and applications means the place you call home is cared for by those who care.

Using our proven monarch elite process, we guide you through the entire restoration process. A dedicated client success agent will ensure you're a true partner each step of the way to fully understand exactly what is happening, why, and when. With Renaissance, you are never in the dark on the work we are doing and you are always in contact with our success agents on changes or alterations to your restoration plan.

COMMERCIAL RESTORATIONS

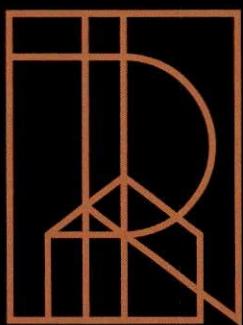
PRECISION. PASSION. PERFORMANCE.



RENAISSANCE IS MORE THAN JUST A ROOFING COMPANY; WE'RE EXPERTS IN CUSTOM RESTORATION SOLUTIONS FOR THE EXTERIOR OF HISTORICAL BUILDINGS, AND WE'RE DEDICATED TO HONORING THE LEGACY OF YOUR BUILDING.

With our vast network of historical building materials and our in-house architectural sheet metal, carpentry, and masonry services, we have everything you need to get the job done right the first time.

All restoration projects begin with a Magellan Building Assessment (MBA) to thoroughly and accurately evaluate the interior and exterior of your property. Our MBA creates a detailed project plan that illustrates the assets and liabilities of your building and charts a course of action for your restoration.



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TONY RALEIGH
HISTORICAL BUILDING SPECIALIST

CELL 314.502.7326
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2070 N LARK DR
FENTON, MO 63026

HISTORICEXTERIORS.COM
TRALEIGH@HISTORICEXTERIORS.COM





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